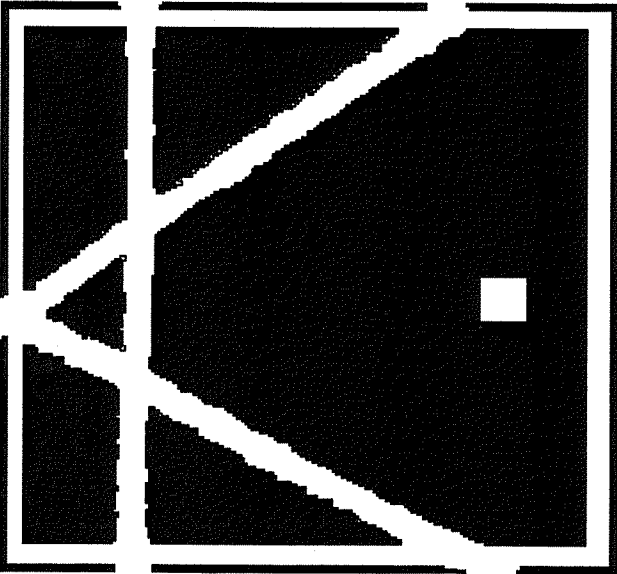


428 CHAUTAUQUA AVE.  
NORMAN, OKLAHOMA



PROJECT DATA

OWNER: MARK KRITTENBRINK  
428 W. EUFALLA  
NORMAN, OK 73069

PROJECT ADDRESS:  
428 CHAUTAUQUA  
NORMAN, OKLAHOMA

LEGAL DESCRIPTION:  
ROSS LOTS 1 BLK 1

ZONING:  
R-1

ARCHITECT: Krittenbrink Architecture, LLC  
Mark Krittenbrink  
301 West Boyd Suite 200  
Norman, Oklahoma 73069  
(405) 579-7883  
(FAX) 232-0545

CONTRACTOR:  
JOHN FOULER  
OK INNOVATIVE CONSTRUCTION  
216 N. TRIPLE X RD.  
CHOCTAW, OK 73012

CONTACT:

SQUARE FOOTAGE

EXISTING FIRST FLOOR: 1311 SQFT  
ADDITION FIRST FLOOR: 242 SQFT  
PORCH: 300 SQFT  
GARAGE: 528 SQFT  
TOTAL: 2381 SQFT

EXISTING GRAVEL DRIVE: 350 SQFT  
NEW PAVING: 192 SQFT  
NEW GRAVEL: 116 SQFT  
TOTAL PAVING: 1878 SQFT

LOT SIZE: 9250 SQFT  
TOTAL BUILDING COVERAGE: 2381 SQFT  
TOTAL PAVING COVERAGE: 1878 SQFT  
TOTAL LOT COVERAGE: 4259 SQFT

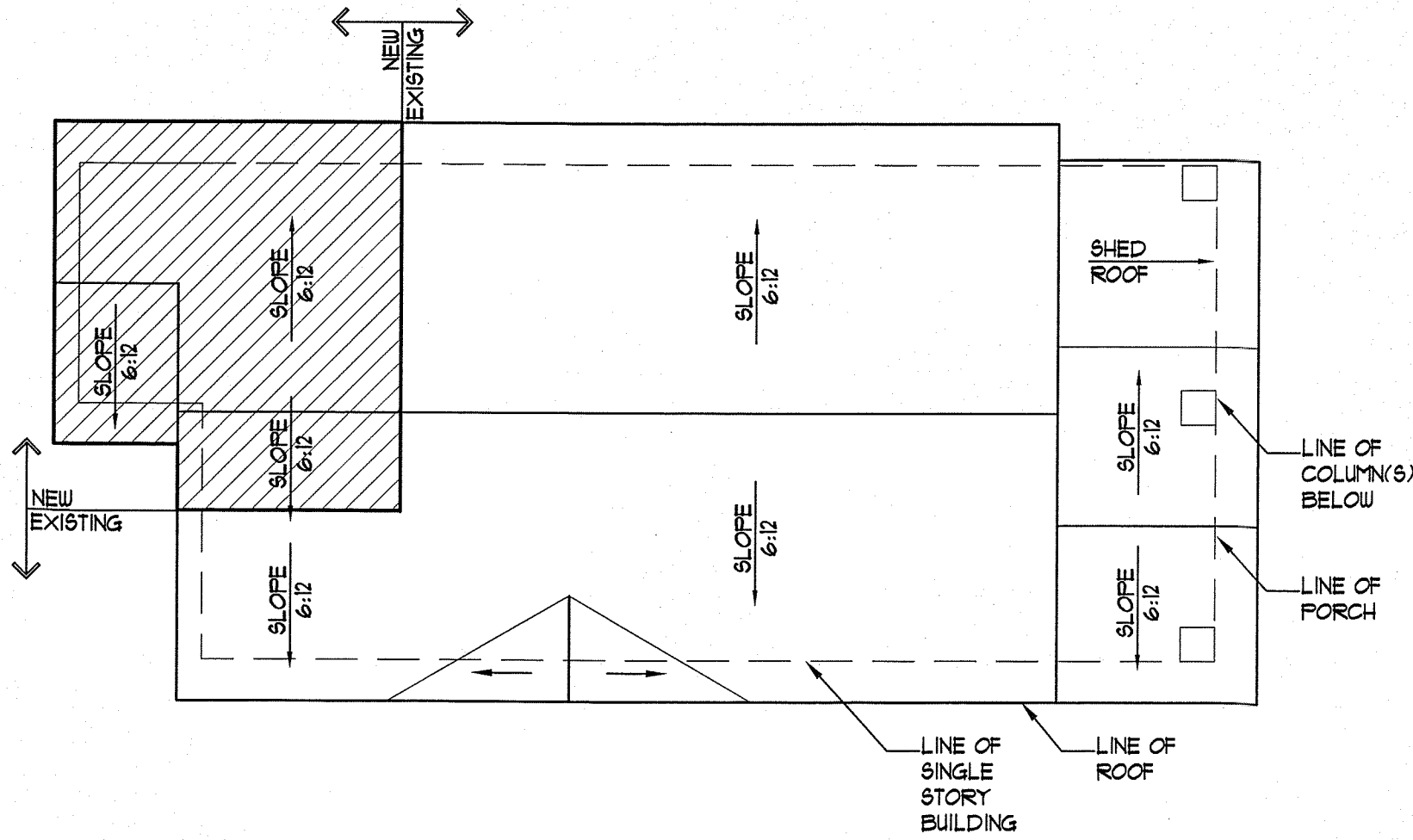
PERCENTAGE BUILDING COVERAGE: 26 %  
PERCENTAGE IMPERVIOUS COVERAGE: 46 %

DRAWING INDEX

A-001 COVERSHEET, SITE PLAN AND ROOF PLAN  
A-101 DEMOLITION PLAN  
A-201 FLOOR PLANS  
A-202 REFLECTED CEILING PLANS  
A-203 GARAGE FLOOR FLOOR PLANS & DETAILS  
A-301 EXTERIOR ELEVATIONS  
A-302 EXTERIOR ELEVATIONS-GARAGE  
S-101 FOUNDATION PLAN

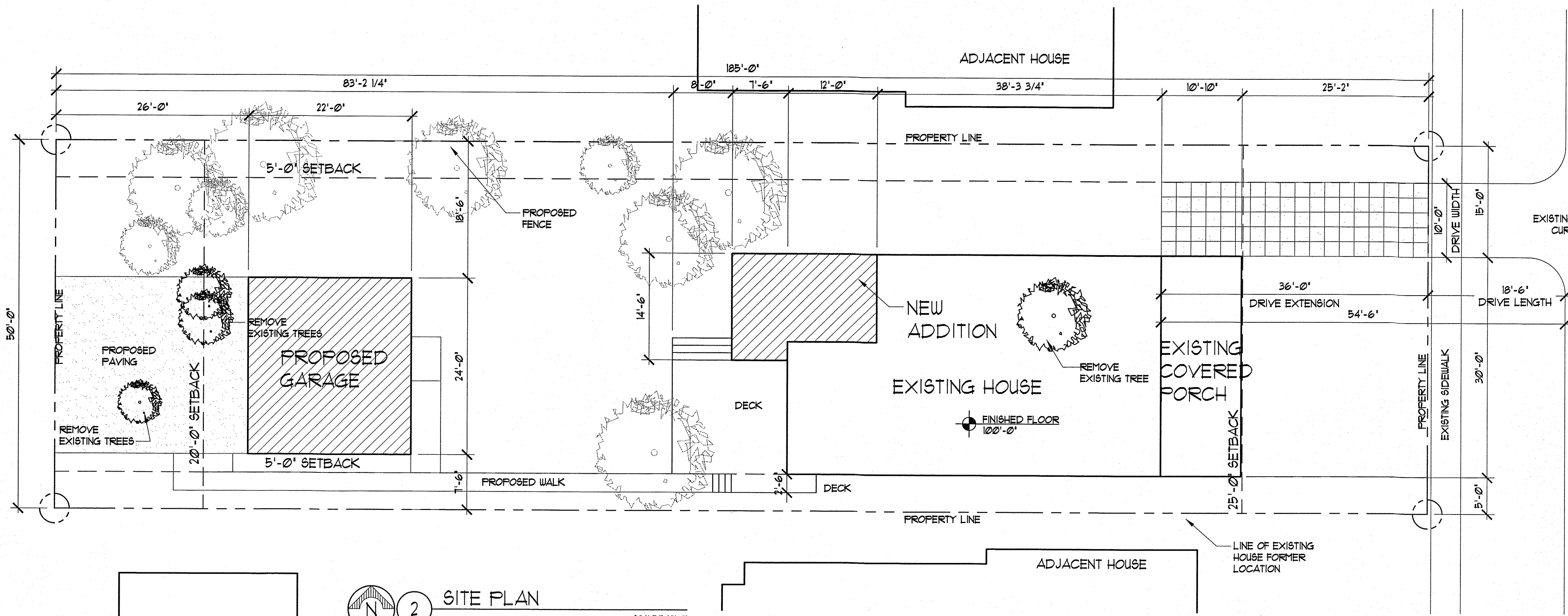
GENERAL NOTES

- THIS PROJECTS DESIGN AND CONSTRUCTION DOCUMENTS, IN PART OR IN TOTAL, SHALL NOT BE USED FOR ANY PROJECT OTHER THAN THIS PROJECT, UNLESS AGREED TO IN WRITING BY THIS PROJECT'S ARCHITECT.
- ALL CONSTRUCTION SHALL MEET ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES, LATEST EDITIONS AS WELL AS SPECIAL ORDINANCES AND/OR REGULATIONS.
- DO NOT SCALE OFF PLANS!
- CALL OKIE (1-800-522-6543) FOR EXACT LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE AND CONFIRM THE EXISTING CONDITIONS WITH WHICH HE/SHE MUST WORK. IF HE/SHE FINDS CONDITIONS THAT DIFFER FROM THE PLANS, HE/SHE MUST NOTIFY THE ARCHITECT IN WRITING PRIOR TO THE BID OPENING AND IN TIME FOR THE ARCHITECT TO ISSUE AN ADDENDUM. TO ARRANGE ACCESS TO THE BUILDING AREA, CONTACT THE CONTRACTING OFFICE REPRESENTATIVE.
- WHEN THERE ARE CONFLICTS BETWEEN ANY SECTIONS OF THE SPECIFICATIONS OR THE PLANS OR BETWEEN THE PLANS AND SPECIFICATIONS, THE MOST STRICT SHALL APPLY. THE MORE STRICT REQUIREMENT SHALL BE INTERPRETED TO BE THE MORE EXPENSIVE METHOD UNLESS DIRECTED BY THE ARCHITECT.
- NO WORK SHALL BE STARTED AT THE SITE UNTIL SHOP DRAWINGS AND SUBMITTALS FOR THE WORK HAS BEEN APPROVED BY THE ARCHITECT.
- WHEN LAYOUT IS COMPLETE, THE CONTRACTOR SHALL GIVE THE ARCHITECT 48 HOURS PRIOR NOTICE THAT HE IS READY FOR INSPECTION. CONTRACTOR SHALL GIVE THE ARCHITECT 48 HOURS PRIOR NOTICE FOR THE INSPECTION OF ANY MATERIAL OF WORK TO BE COVERED OR HIDDEN FROM VIEW.
- PROVIDE EMERGENCY FIRE EXTINGUISHERS READILY AVAILABLE AND PROPERLY MAINTAINED AS PER LOCAL FIRE PROTECTION REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING PROPER SAFETY PRECAUTIONS IN COMPLETING THE WORK.
- REVIEW ANY CONFLICTS OR POTENTIAL PROBLEM AREAS WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. IF WORK IS IN PROGRESS WHEN CONFLICTS OR PROBLEMS ARE DISCOVERED, STOP WORK ON THE AREA IN QUESTION UNTIL A SOLUTION HAS BEEN WORKED OUT WITH THE ARCHITECT OR OWNER.
- THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF THE OWNER AT THE SITE SHOWN ON THE PLANS AND IN THE SPECIFICATIONS ONLY. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSONS INVOLVED IN THE PROJECT.



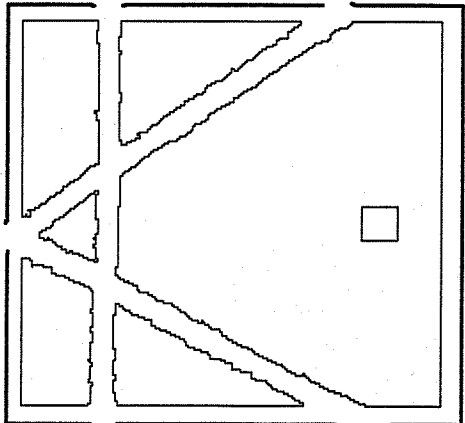
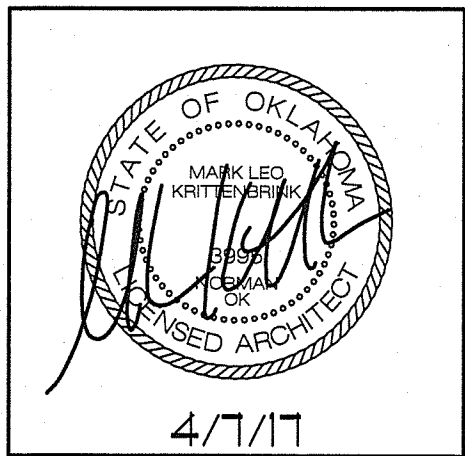
1 ROOF PLAN

SCALE 1/8"=1'-0"



2 SITE PLAN

SCALE 1/8"=1'-0"



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RESIDENTIAL REMODEL

428 CHAUTAUQUA  
NORMAN, OKLAHOMA

Sheet Title

COVER SHEET, SITE PLAN & ROOF PLAN

REVISIONS		
No.	Date	Issue

PRIMARY ISSUE		
No.	Date	Issue
		PERMIT ISSUE
		ISSUED FOR BID
		ISSUED FOR CONSTRUCTION

Date	04.07.17
Drawn by	MSB
Checked by	MLK
Job Number	K2514
A001	

WALL TYPE LEGEND

- INDICATES EXISTING STUD WALL TO REMAIN
- INDICATES EXISTING VENEER AND STUD WALL TO REMAIN
- INDICATES EXISTING STUD WALL TO REMAIN + VENEER (INCLUDING SOLDIER COURSING, BILLS, LENTILS, ETC.) TO BE REMOVED AND SAVED FOR POSSIBLE RE-USE
- INDICATES EXISTING WALL(S) TO BE DEMOLISHED, NOTE: WALL MAY CONTAIN DOOR AND/OR WINDOW TO BE DEMO'D - VERIFY EXISTING CONDITION + PROCEED ACCORDINGLY, RE: GENERAL NOTES

KEY NOTE SYMBOL KEY

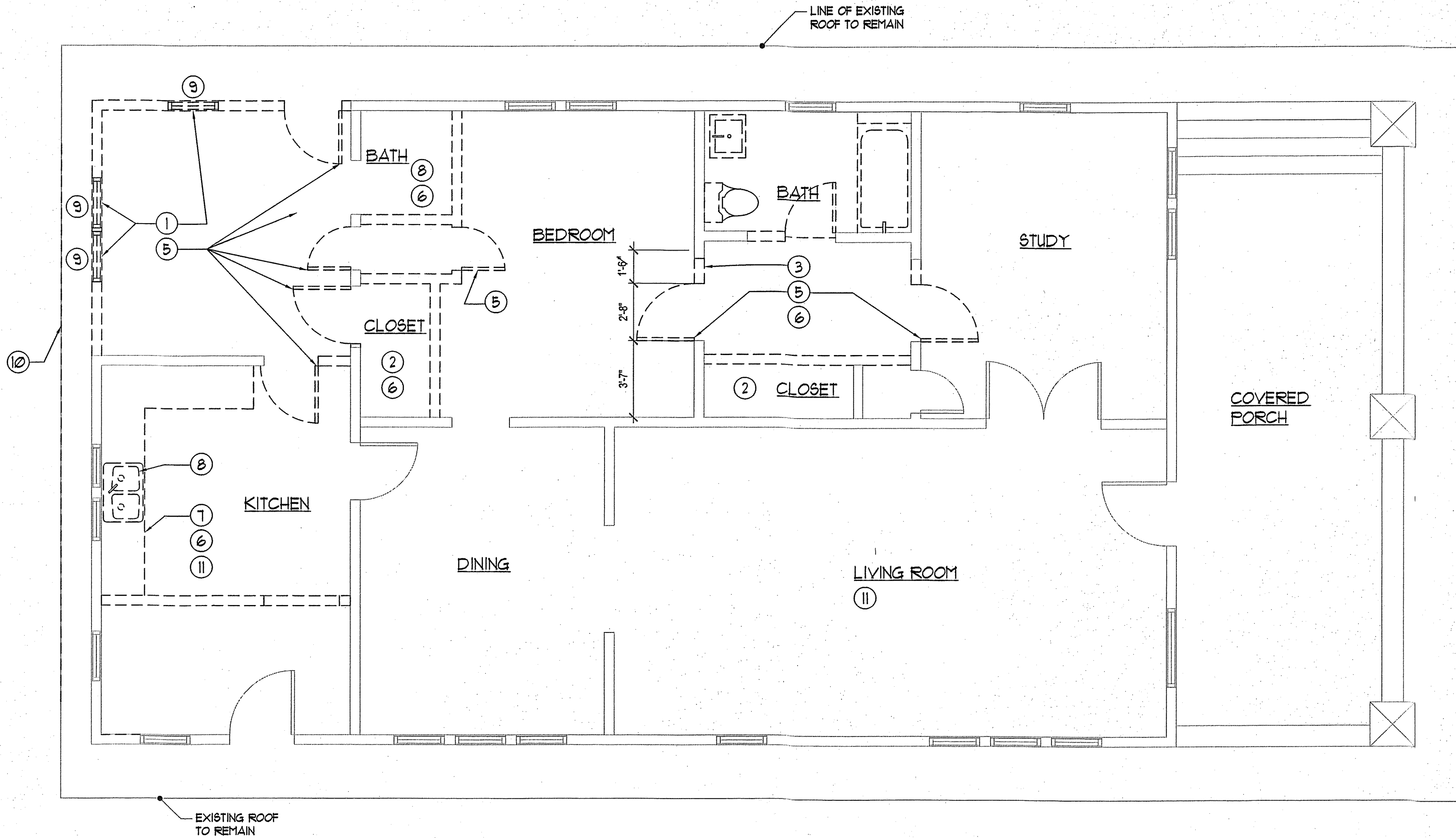
- INDICATES SPECIFIC DEMOLITION NOTES, BUBBLE NOTE WITHOUT ARROUS APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.
- INDICATES SPECIFIC DEMOLITION NOTES, BUBBLE NOTE WITH ARROW APPLIES TO OBJECT.

GENERAL NOTES

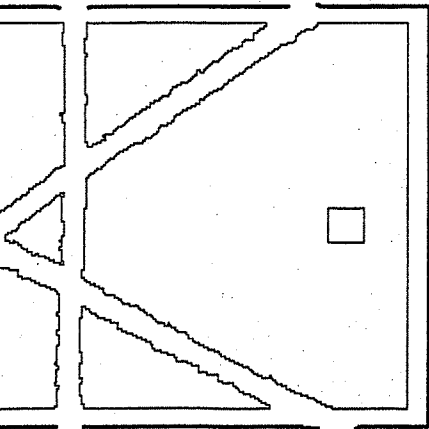
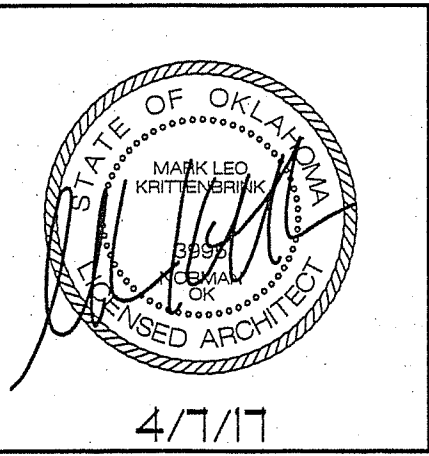
- A. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES, LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.
- B. CONTRACTOR SHALL FINISH ALL EXPOSED ITEMS IN AREAS TO BE RENOVATED.
- C. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.
- D. DASHED LINES ON DEMOLITION PLANS/ELEVATIONS INDICATE EXISTING MATERIALS TO BE REMOVED, UNLESS OTHERWISE NOTED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
- E. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH LIGHT CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, REFINISH OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.
- F. REPAIR SOFFITS, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK TO MATCH EXISTING ADJACENT FINISHES.
- G. REPAIR EXISTING CONSTRUCTION AS REQUIRED TO MATCH ADJACENT CONSTRUCTION IN QUALITY, SIZE, TEXTURE, AND FINISH WHERE DAMAGED BY DEMOLITION WORK.
- H. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.
- I. COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH OWNER WHERE THEY EFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
- J. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.
- K. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE FACILITY.
- L. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO THE DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.
- M. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED ARE TO BE REMOVED AND RETURNED TO THE BUILDING OWNER.
- N. PATCH SURFACES AS REQUIRED TO MATCH EXISTING WHERE PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS OR EQUIPMENT HAVE BEEN REMOVED.
- O. GENERAL CONTRACTOR TO PROPERLY DISPOSE, DONATE, AND/OR RECYCLE ALL DEMO ITEMS, UNLESS OTHERWISE NOTED "RETURN TO OWNER", COORD W/ ARCHITECT + OWNER

KEY NOTES

1. REMOVE WINDOW TO ACCOMMODATE NEW, SAVE WINDOW FOR POTENTIAL RELOCATION OR DONATION, RE: FLOOR PLAN AND EXTERIOR ELEVATIONS
2. REMOVE ROD + SHELF, TYPICAL
3. REMOVE PORTION OF WALL TO ACCOMMODATE NEW, RE: FLOOR PLAN
4. REMOVE SHELVING, TYPICAL
5. REMOVE DOOR(S) TO ACCOMMODATE NEW, SAVE FOR RELOCATION, RE: FLOOR PLAN, COORD W/ OWNER FOR DONATION.
6. REMOVE EXISTING FLOORING AS REQ'D TO ACCOMMODATE FLOORING, RE: FLOOR PLAN, TYPICAL
7. REMOVE EXISTING MILLWORK, CABINET(S), COUNTERTOP(S), ETC, ENTIRELY, COORD W/ OWNER, TYPICAL, STORE FOR POTENTIAL RE-USE OR DONATION
8. REMOVE EXISTING PLUMBING FIXTURES (E.G. WATER CLOSET, SINK(S), ETC.), APPLIANCES + ACCESSORIES AS REQ'D TO ACCOMMODATE NEW LOCATION(S), STORE IN LOCATION ACCEPTABLE TO OWNER FOR POSSIBLE RE-USE OR DONATION, COORD W/ OWNER, RE: FLOOR PLAN + FOUNDATION PLAN, TYPICAL
9. REMOVE SCREEN(S) + FRAME(S) TO ACCOMMODATE ADDITION, PROTECT DURING DEMO, + CONSTRUCTION, STORE FOR RE-USE, RE: FLOOR PLAN
10. REMOVE ROOF AS REQUIRED TO ACCOMMODATE NEW ADDITION, RE: FLOOR PLAN(S) + EXTERIOR ELEVATION
11. REMOVE ALL BASE AND CASE - SAVE FOR LATER REUSE



DEMOLITION PLAN  
# FIRST FLOOR  
SCALE 1/4" = 1'-0"



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428 CHAUTAUGA  
NORMAN, OKLAHOMA

DEMOLITION PLAN + NOTES

REVISIONS		
No.	Date	Issue

PRIMARY ISSUE		
No.	Date	Issue
		PERMIT ISSUE
		ISSUED FOR BID
		ISSUED FOR CONSTRUCTION

Date	04.07.17
Drawn by	MSB
Checked by	MLK
Job. Number	K2514
	A101



GENERAL NOTES

- A. REPAIR ALL EXIST. CONSTRUCTION DAMAGED BY DEMOLITION TO LIKE NEW APPEARANCE.
- B. PROTECT ALL EXISTING FLOORING FROM DAMAGE AND REPAIR ANY DAMAGE TO LIKE NEW APPEARANCE UNLESS NOTED WITH NEW FLOORING.
- C. COORDINATE ALL HVAC DUCTWORK, RETURNS, AND SYSTEM SPECS W/ HVAC SUB-CONTRACTOR & ARCHITECT
- D. SECURE AND LEVEL ALL FLOOR AND SUB-FLOOR TYP.
- E. INSTALL ALL APPLIANCES (SELECTED & SUPPLIED BY OWNER) & PRODUCTS AS PER MANUFACTURER'S SPECIFICATIONS, REWORK PLUMBING & ELECTRICAL, COORD WITH OWNER & ARCHITECT, RE: POWER PLAN
- F. ALL EXTERIOR WALLS & SOFFITS WILL HAVE A MIN. OF R-19 INSULATION TO COMPLY WITH CITY IN WHICH CONSTRUCTION IS BEING DONE, COORD WITH ARCHITECT & OWNER
- G. ATTICS SHALL INCLUDE INSULATION WITH A MIN. OF R-30 & RADIANT BARRIER BACKED OSB AT ALL NEW ROOF DECKING, COORD WITH ARCHITECT & OWNER
- H. ALL GLASS IN WINDOWS & DOORS TO BE COMPLIANT W/ IRC 2006, E.G. U-FACTOR, SOLAR HEAT GAIN COEFFICIENT, ETC, COORD ALL SELECTIONS W/ ARCHITECT
- I. ALL STAIRS TO HAVE A MAX RISE OF 11.5", AND A MINIMUM RUN OF 10"
- J. DOORS/WINDOWS WITH \* ARE EXISTING DOORS/WINDOWS TO BE RE-USED IN NEW CONSTRUCTION
- K. ALL NEW MATERIALS AND FINISHES TO MATCH THAT OF EXISTING HOME

WALL TYPE LEGEND

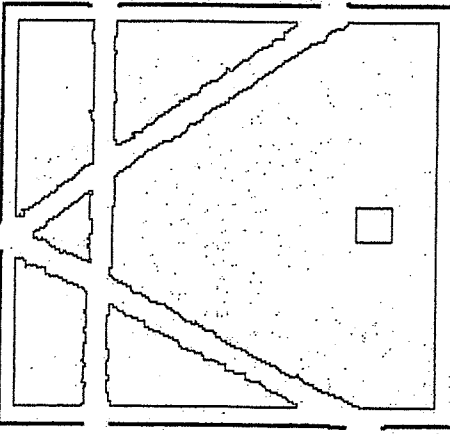
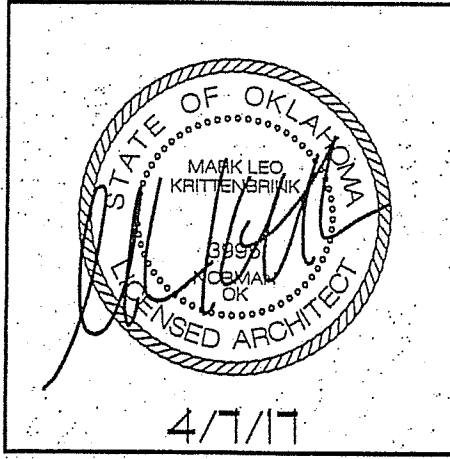
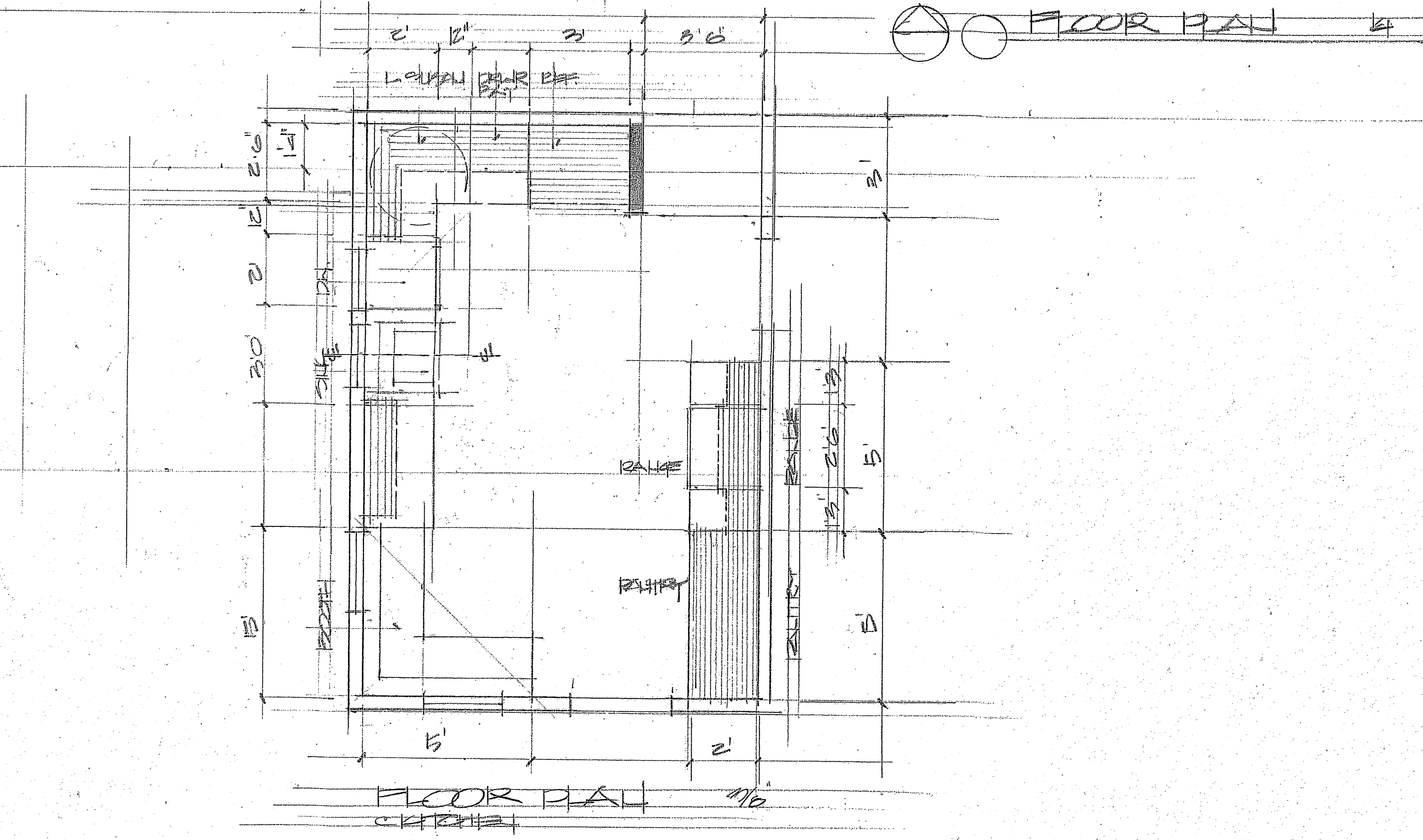
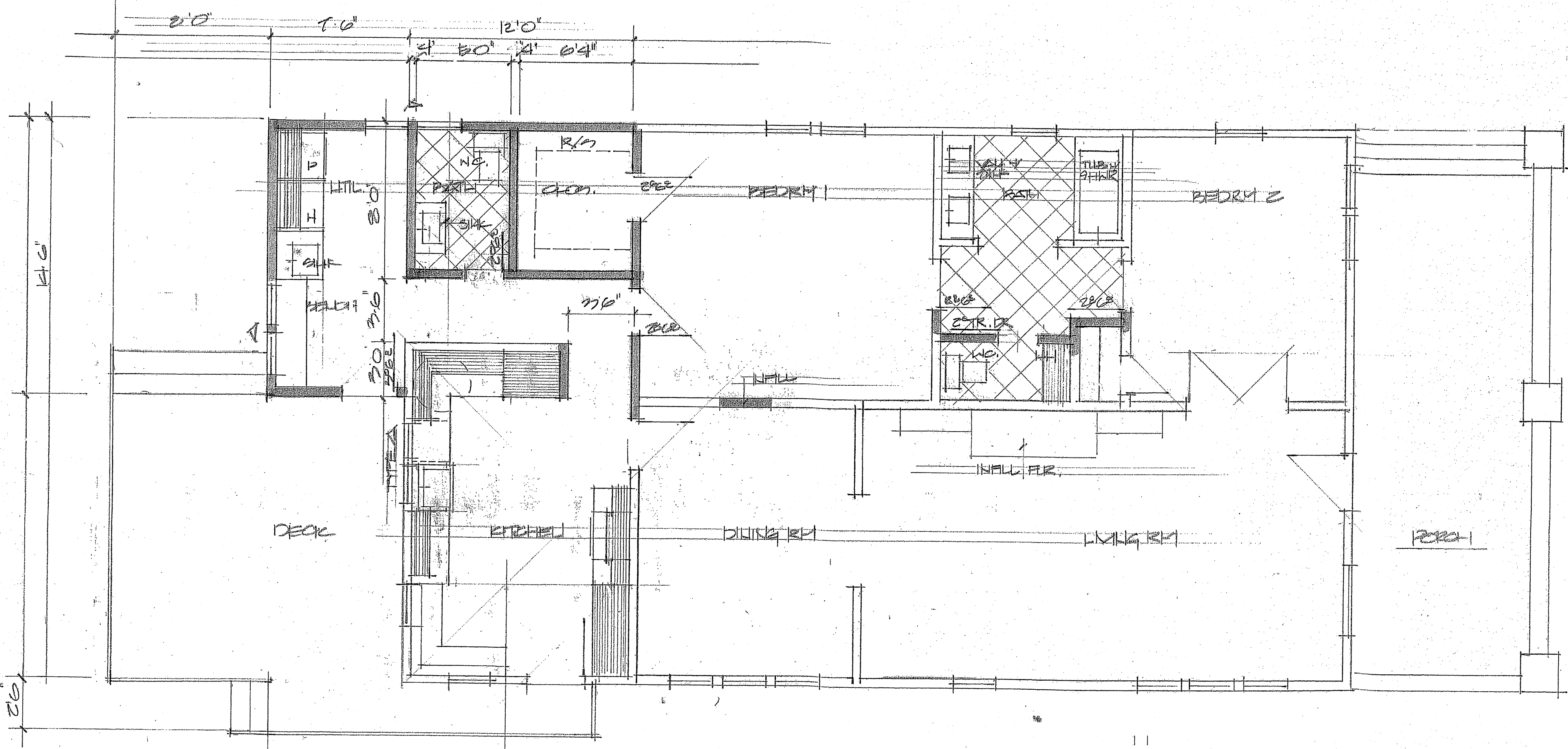
- INDICATES EXISTING STUD WALL TO REMAIN
- INDICATES EXISTING STUD WALL W/ BRICK VENEER TO REMAIN
- INDICATES NEW 2X4(6) WOOD STUD WALL W/ GIBB BOTH SIDES (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT
- INDICATES NEW 2X4(6) WOOD STUD WALL W/ BRICK VENEER \* EXTERIOR, GIBB INTERIOR (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT
- INDICATES NEW 2X4(6) WOOD STUD WALL W/ HARDIBOARD PRODUCT (PAINT) \* EXTERIOR, GIBB INTERIOR (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT

KEY NOTE SYMBOLS LEGEND

- REFERS TO - BUBBLE NOTE WITHOUT ARROW APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.
- REFERS TO - BUBBLE NOTE WITH ARROW APPLIES TO OBJECT INDICATED.

KEY NOTES

- 1. PROVIDE NEW UPPER CABINET, RE: INTERIOR ELEVATIONS.
- 2. PROVIDE NEW LOWER CABINET W/ COUNTERTOP, COORD. SELECTION W/ OWNER RE: INTERIOR ELEVATIONS
- 3. PROVIDE LOWER CABINET, TO MATCH EXISTING, COORD W/ OWNER, RE: INTERIOR ELEVATION
- 4. PROVIDE 12" OVERHANG \* KITCHEN COUNTER HEIGHT
- 5. PROVIDE NEW WATER CLOSET, COORD. SELECTION W/ OWNER
- 6. PROVIDE ROD & SHELF, COORDINATE LAYOUT W/ OWNER, RE: INTERIOR ELEVATIONS
- 7. REWORK EXISTING FRENCH DOOR TO SWING OUT, RELOCATED TO DINING ROOM, RE: DEMO PLAN AND FLOOR PLAN
- 8. PROVIDE NEW SINK & HARDWARE, COORD. SELECTION W/ OWNER, W/GARBAGE DISPOSAL IN KITCHEN LOCATION
- 9. PROVIDE FULL HEIGHT BUILT-IN STORAGE CABINET, RE: INTERIOR ELEVATIONS
- 10. PROVIDE NEW FLOORING, COORD. SELECTION W/ OWNER
- 11. PROVIDE NEW APPLIANCES, COORD. SELECTIONS W/OWNER
- 12. PROVIDE NEW WINDOW TO MATCH EXISTING, RE: EXTERIOR ELEVATIONS
- 13. PROVIDE NEW FRENCH DOORS, COORD. SELECTION W/OWNER
- 14. PROVIDE NEW DOOR TO MATCH EXISTING DOORS, TYP.
- 15. PROVIDE NEW WASHER & DRYER, RE: INTERIOR ELEVATIONS, COORD SELECTION W/ OWNER
- 16. PROVIDE TUB & SHOWER COMBO W/TILE SURROUND; RE: INTERIOR ELEVATIONS, COORD. SELECTION W/ OWNER
- 17. PROVIDE BATHROOM VANITY W/ SINK & SOLID SURFACE COUNTERTOP, COORD. SELECTIONS W/OWNER, RE: INTERIOR ELEVATIONS.
- 18. PROVIDE WOOD STAIR & RAILINGS, TYP.
- 19. INFILL EXISTING OPENINGS AS REQ'D TO ACCOMMODATE NEW LAYOUT, RE: DEMO PLAN



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RESIDENTIAL REMODEL

428 CHAUTAUQUA  
NORMAN, OKLAHOMA

Sheet Title  
FLOOR PLAN & NOTES












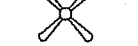








REVISIONS		
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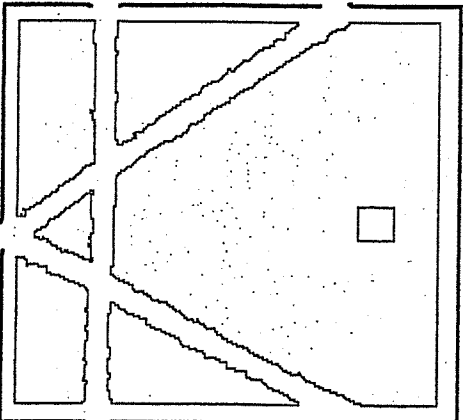
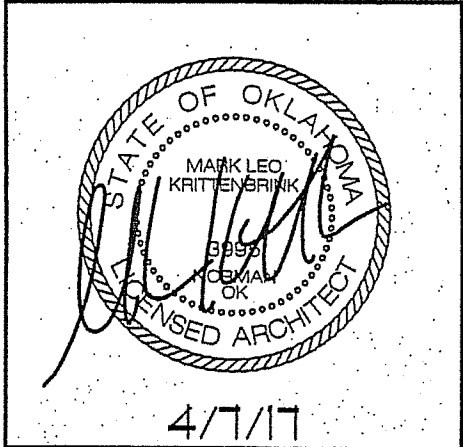
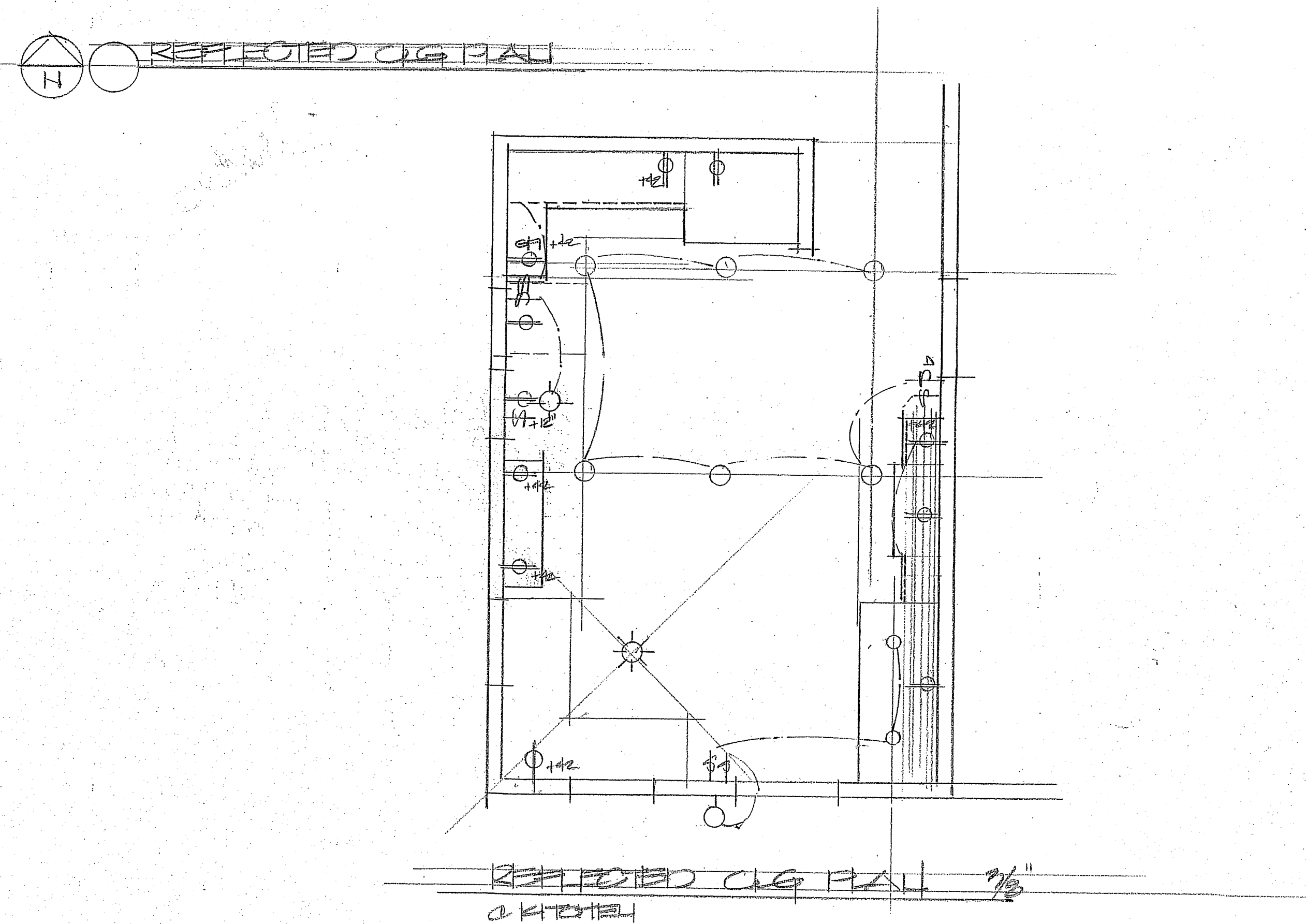
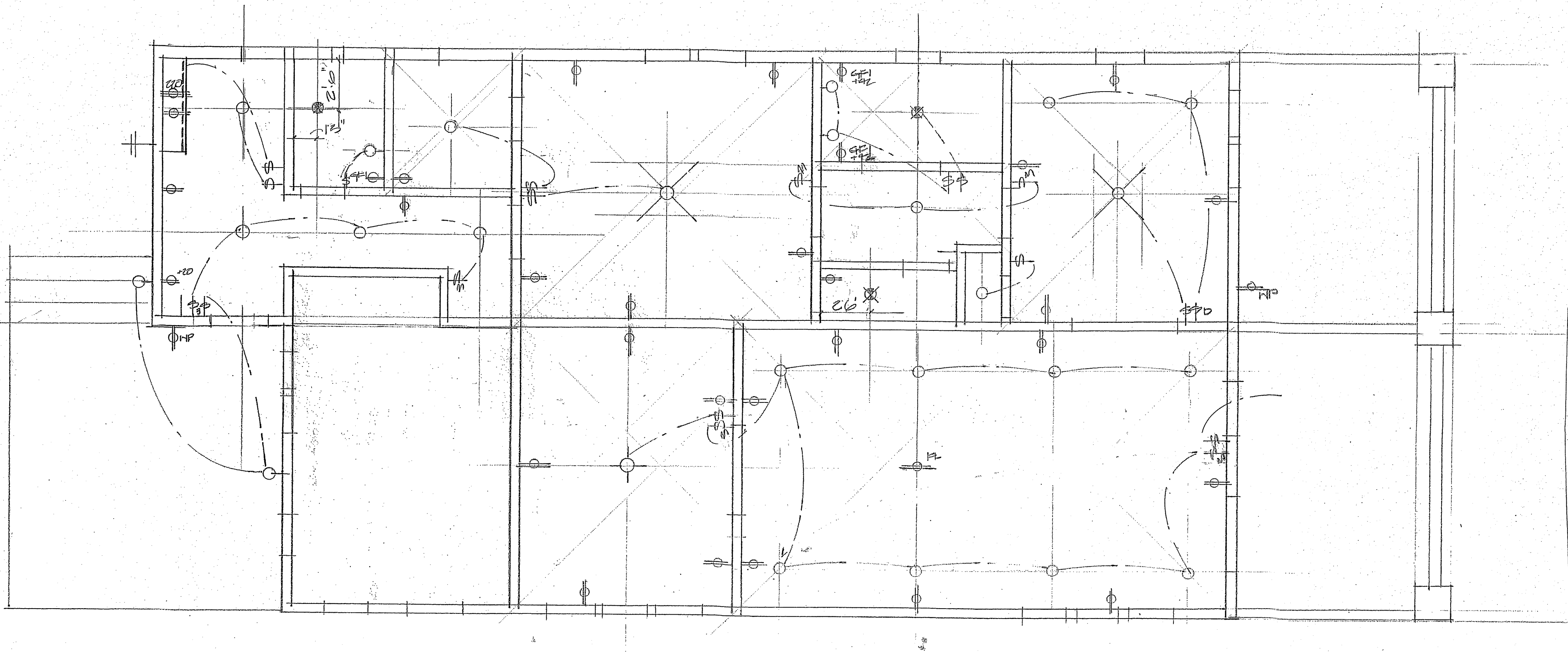
Date	04.07.17
Drawn by	ELR
Checked by	MLK
Job Number	K2514

A201



SYMBOLS LEGEND		
SYMBOL	TYPE	REMARKS
	HEAT VENT LIGHT KIT	HEAT/VENT/LIGHT TO BE SWITCHED W/ONE PLATE CONTAINING 3 CONTROLS
	VENT LIGHT KIT	ON TWO GANGED SWITCHES
	1x4' FLUORESCENT	SURFACE MTD. TO CEILING
	RECESSED CAN FIXTURE INCANDESCENT / COMPACT FLUORESCENT	WATERPROOF AT WET APPLICATIONS 6" SIZE
	DIRECTIONAL RECESSED CAN FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	PENDANT FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	FLUSH MOUNTED FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	SEMI FLUSH MOUNTED FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	WALL SCONCE FIXTURE INCANDESCENT / COMPACT FLUORESCENT	WATERPROOF AT WET APPLICATIONS MOUNT @ 1'-0" AFF UNLESS NOTED OTHERWISE
	VANITY WALL SCONCE FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	CEILING FAN W/ LIGHT KIT (OPTIONAL)	SWITCH TO CONTROL FAN W/ SEPERATE SWITCH FOR LIGHT
	STRIP FIXTURE (4') FLUORESCENT	SURFACE MTD. TO CEILING
	CEILING FAN	SWITCH TO CONTROL FAN SPEED
	SWITCH	-
	SWITCH	W/ 2 SWITCH CONTROL
	SWITCH	DIMMER SWITCH
	SWITCH	SWITCH LOCATED IN JAMB OF DOOR
	DUPLEX RECEPTACLE	MOUNT @ 18" OC AFF UNLESS OTHERWISE NOTED WP - WEATHER PROOF GFI - GROUND FAUL INTERCEPT CIRCUIT 220 - 220 - VOLTS
	FOURPLEX RECEPTACLE	MOUNT @ 12" AFF UNLESS OTHERWISE NOTED
	FLOOR DUPLEX RECEPTACLE	-

REFLECTED CEILING NOTES	
1.	ALL SYMBOLS SHOWN ON LEGEND MAY BE NOT USED.
2.	SWITCHED SHOULD BE GANGED AT LOCATIONS WITH MULTIPLE SWITCHES.
3.	PROVIDE HARDWIRED AND MONITORED SMOKE DETECTORS IN ALL BEDROOMS AND ADJACENT COORIDORS AS REQ'D PER IBC 2003.
4.	COORDINATE PLACEMENT OF LIGHT FIXTURE PLACEMENT & SELECTION W/ OWNER & ARCHITECT.
5.	ALL CEILING HEIGHTS ON REFLECTED CEILING PLANS NOTED ARE ABOVE FINISHED FLOOR AND NEED FINAL VERIFICATION FROM GENERAL CONTRACTOR.
6.	PROBLEMS OR DISCREPANCIES BETWEEN THE REFLECTED CEILING PLAN AND THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS (IF PROVIDED) SHALL BE REPORTED TO THE ARCHITECT AT ONCE.
7.	LOCATION OF FIXTURES SHALL BE CENTERED IN THE WIDTH OF THE CORRIDOR CEILINGS, UNO.
8.	INSTALL FIXTURES PER MANUFACTURER SPECIFICATIONS.
9.	ADD BLOCKING TO LARGE FIXTURES.
10.	MAINTAIN/RE-USE EXISTING SWITCH WHERE APPLICABLE.



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PLANNING  
INTERIORS

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RESIDENTIAL REMODEL

428 CHAUTAUQUA  
NORMAN, OKLAHOMA

Sheet Title  
REFLECTED CEILING PLAN & POWER PLAN

REVISIONS		
No.	Date	Issue

PRIMARY ISSUE		
No.	Date	Issue
		PERMIT ISSUE
		ISSUED FOR BID
		ISSUED FOR CONSTRUCTION

Date	04.07.17
Drawn by	ELR
Checked by	MLK
Job. Number	K2514
A202	

WALL TYPE LEGEND

INDICATES EXISTING STUD WALL TO REMAIN

INDICATES EXISTING STUD WALL W/ BRICK VENEER TO REMAIN

INDICATES NEW 2X4(6) WOOD STUD WALL W/ GIBB BOTH SIDES (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT

INDICATES NEW 2X4(6) WOOD STUD WALL W/ BRICK VENEER • EXTERIOR, GIBB INTERIOR (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT

INDICATES NEW 2X4(6) WOOD STUD WALL W/ HARDBOARD PRODUCT (PAINT) • EXTERIOR, GIBB INTERIOR (OR MATCH EXISTING CONDITION WHEN APPLICABLE). T&B, TEXTURE (TO MATCH EXISTING), & PAINT, COORD COLOR SECTION W/ OWNER & ARCHITECT

KEY NOTE SYMBOLS LEGEND

○

REFER TO - BUBBLE NOTE WITHOUT ARROWS APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.

○→

REFERS TO - BUBBLE NOTE WITH ARROW APPLIES TO OBJECT INDICATED.

KEY NOTES

1. NEW ROOF W/ CLASS 4 IMPACT RESISTANT SHINGLES, MATCH EXISTING TRIM, OVERHANG, & DETAILS; COORD SHINGLE SELECTION W/ OWNER

2. NEW GABLE VENT, MATCH EXISTING; REWORK/EXTEND CHIMNEY FLUE TO MEET CODE REQUIREMENTS

3. CEDAR WOOD COLUMN(S) (PAINTED), COORD COLOR SELECTION W/ ARCHITECT & OWNER, RE: FLOOR PLAN & FOUNDATION PLAN DETAILS, TYPICAL

4. NEW CEMENT SIDING, COORD STYLE AND COLOR W/ OWNER

5. SCHEDULED DOORS, TRIM TO MATCH EXISTING, RE: FLOOR PLAN & GENERAL NOTES

6. WINDOW TO MATCH EXISTING, RE: FLOOR PLAN & GENERAL NOTES

7. NEW CONCRETE STEM WALL, PAINT TO MATCH SIDING, COORD. COLOR W/ OWNER

8. 8" WOOD TRIM BOARD, PAINT; COORD COLOR W/ OWNER AND ARCHITECT

SYMBOLS LEGEND		
SYMBOL	TYPE	REMARKS
	1x4' FLUORESCENT	SURFACE MTD. TO CEILING
	RECESSED CAN FIXTURE INCANDESCENT / COMPACT FLUORESCENT	WATERPROOF AT UET APPLICATIONS 6" SIZE
	DIRECTIONAL RECESSED CAN FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	PENDANT FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	FLUSH MOUNTED FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	SEMI FLUSH MOUNTED FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	WALL SCONCE FIXTURE INCANDESCENT / COMPACT FLUORESCENT	WATERPROOF AT UET APPLICATIONS MOUNT 6" T-0" AFF UNLESS NOTED OTHERWISE
	VANITY WALL SCONCE FIXTURE INCANDESCENT / COMPACT FLUORESCENT	-
	DUPLEX RECEPTACLE	MOUNT 6" 18" OC AFF UNLESS OTHERWISE NOTED UP - WEATHER PROOF GFI - GROUND FAULT INTERCEPT CIRCUIT 220 - 22- VOLTS

REFLECTED CEILING NOTES

1. ALL SYMBOLS SHOWN ON LEGEND MAY BE NOT USED.

2. SWITCHED SHOULD BE GANGED AT LOCATIONS WITH MULTIPLE SWITCHES.

3. PROVIDE HARDWIRED AND MONITORED SMOKE DETECTORS IN ALL BEDROOMS AND ADJACENT CORRIDORS AS REQ'D PER IBC 2003.

4. COORDINATE PLACEMENT OF LIGHT FIXTURE PLACEMENT & SELECTION W/ OWNER & ARCHITECT.

5. ALL CEILING HEIGHTS ON REFLECTED CEILING PLANS NOTED ARE ABOVE FINISHED FLOOR AND NEED FINAL VERIFICATION FROM GENERAL CONTRACTOR.

6. PROBLEMS OR DISCREPANCIES BETWEEN THE REFLECTED CEILING PLAN AND THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS (IF PROVIDED) SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

7. LOCATION OF FIXTURES SHALL BE CENTERED IN THE WIDTH OF THE CORRIDOR CEILINGS, UNO.

8. INSTALL FIXTURES PER MANUFACTURER SPECIFICATIONS.

9. ADD BLOCKING TO LARGE FIXTURES.

10. MAINTAIN/RE-USE EXISTING SWITCH WHERE APPLICABLE.

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RESIDENTIAL REMODEL

428 CHAUTAUQUA  
NORMAN, OKLAHOMA

REFLECTED CEILING & FLOOR PLAN

Sheet Title

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Date	04.07.17
Drawn by	CUE
Checked by	MLK
Job Number	K2514
A203	

F:\McMahon, Korey & Autumn\_K2514\Drawing Files\K2514\_A203 - GARAGE FLOOR PLAN.dwg, 5/11/2017 9:59:53 AM, RICOH Aficio MP W3601 P5

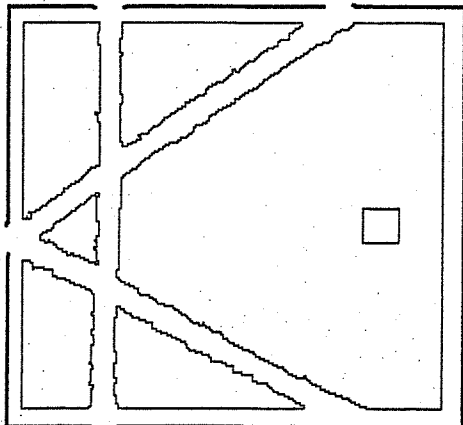
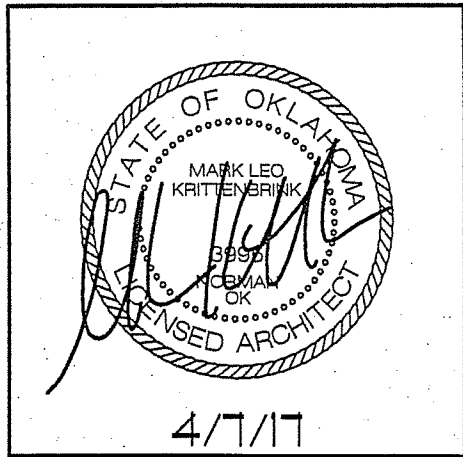
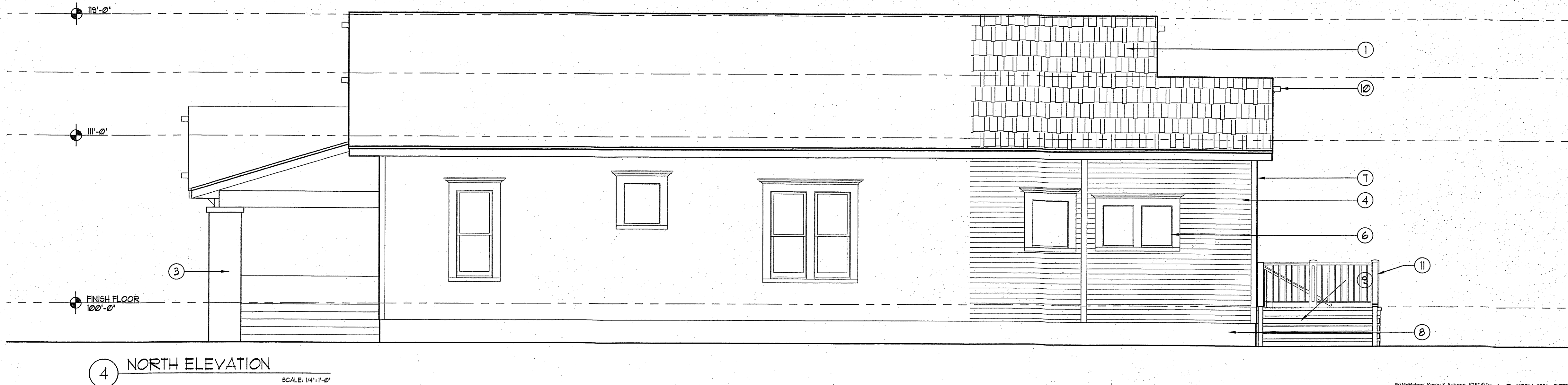
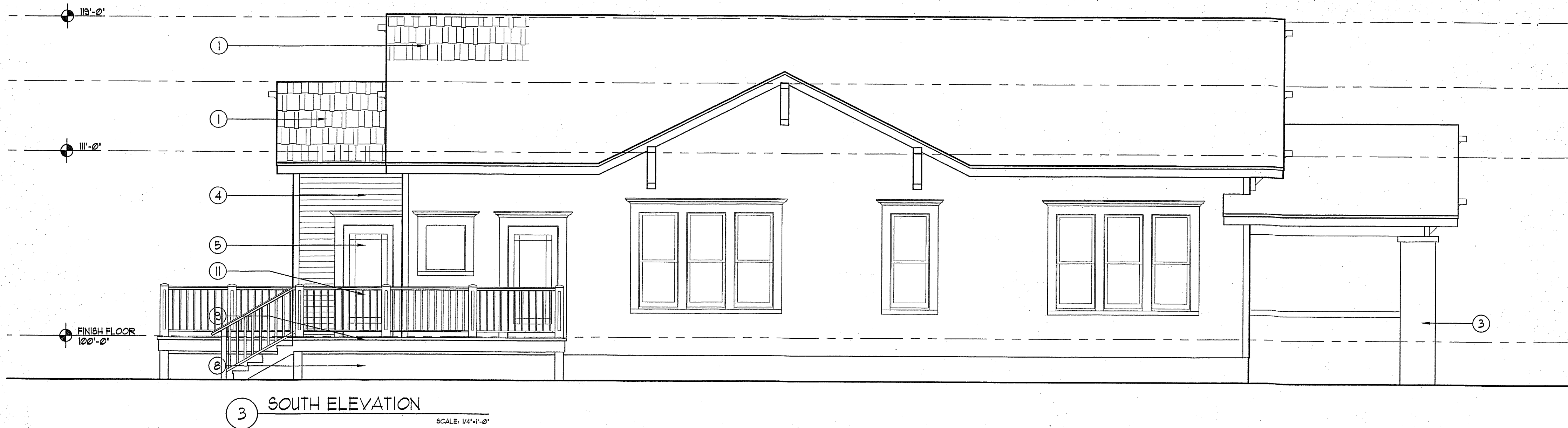
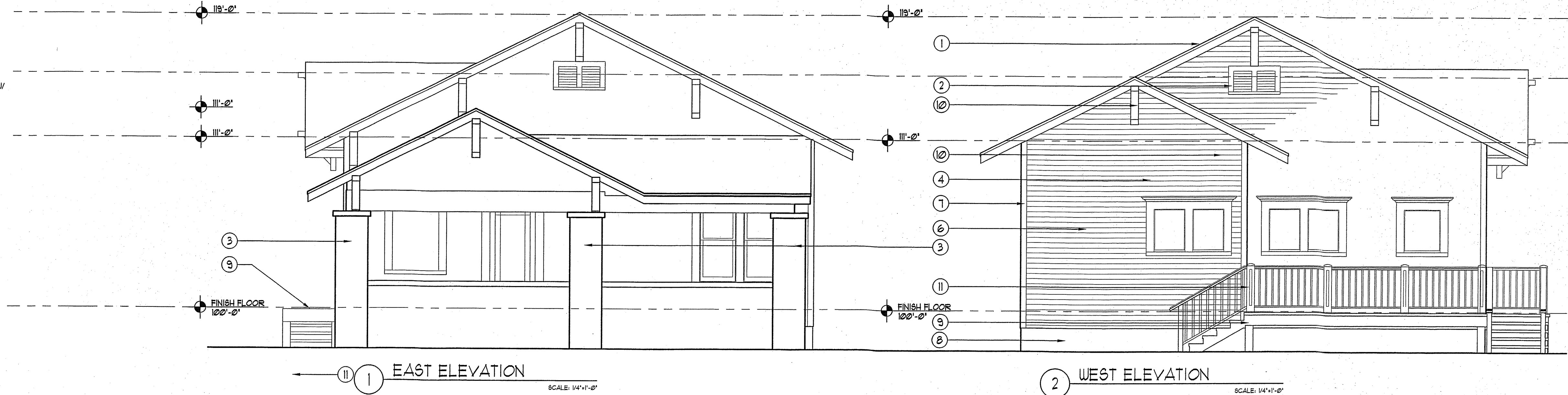


KEY NOTE SYMBOLS LEGEND

- (X) REFER TO - BUBBLE NOTE WITHOUT ARROWS APPLIES TO ENTIRE ROOM IN WHICH IT IS LOCATED UNLESS SHOWN OTHERWISE.
- (X) REFERS TO - BUBBLE NOTE WITH ARROW APPLIES TO OBJECT INDICATED.

KEY NOTES

1. NEW ROOF W/ ARCHITECTURAL GRADE SHINGLES, MATCH EXISTING TRIM, OVERHANG, & DETAILS, COORD SHINGLE SELECTION W/ OWNER.
2. NEW GABLE VENT TO MATCH EXISTING.
3. EXISTING BRICK COLUMN(S) TO BE RE-BUILT TO MATCH EXISTING, RE-USE EXISTING BRICK, RE: FLOOR PLAN & FOUNDATION PLAN DETAILS, TYPICAL.
4. NEW LAP SIDING (PAINTED) TO MATCH EXISTING SIDING, COORD STYLE AND COLOR W/ OWNER.
5. SCHEDULED DOORS, TRIM TO MATCH EXISTING, RE: FLOOR PLAN & GENERAL NOTES.
6. WINDOW TO MATCH EXISTING, RE: FLOOR PLAN & GENERAL NOTES, MATCH TRIM & CROWN DETAILS TO EXISTING, TYP.
7. 4" TRIM BOARD TO MATCH EXISTING CONDITIONS, COORD. W/ ARCHITECT.
8. NEW CONCRETE STEM WALL W/ PLASTER/TEXTURE, COORD. COLOR W/ OWNER.
9. NEW DECK AND STEPS.
10. 8" WOOD TRIM BOARD, PAINT+ COORD COLOR W/ OWNER AND ARCHITECT.
- K. ALL NEW MATERIALS AND FINISHES TO MATCH THAT OF EXISTING HOME.



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RESIDENTIAL REMODEL		428 CHAUTAUGA NORMAN, OKLAHOMA	EXTERIOR ELEVATIONS

REVISIONS		
No.	Date	Issue

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Date	04.07.17
Drawn by	MSB
Checked by	MLK
Job Number	K2514
A301	



### KEY NOTE SYMBOLS LEGEND

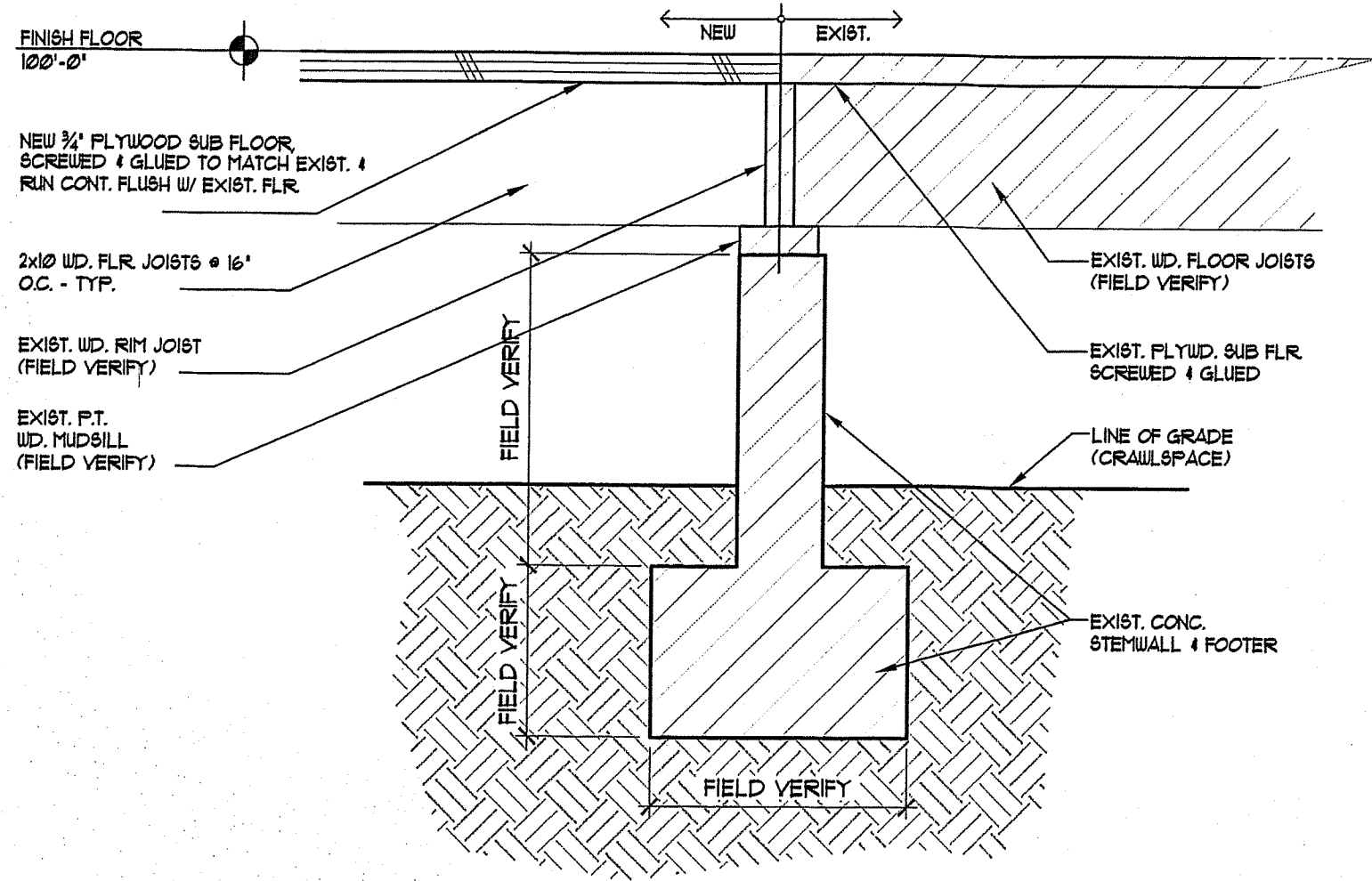
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### KEY NOTES

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- NEW CONCRETE STEM WALL, PAINT TO MATCH SIDING, COORD. COLOR W/ OWNER
- 8" WOOD TRIM BOARD, PAINT; COORD COLOR W/ OWNER AND ARCHITECT

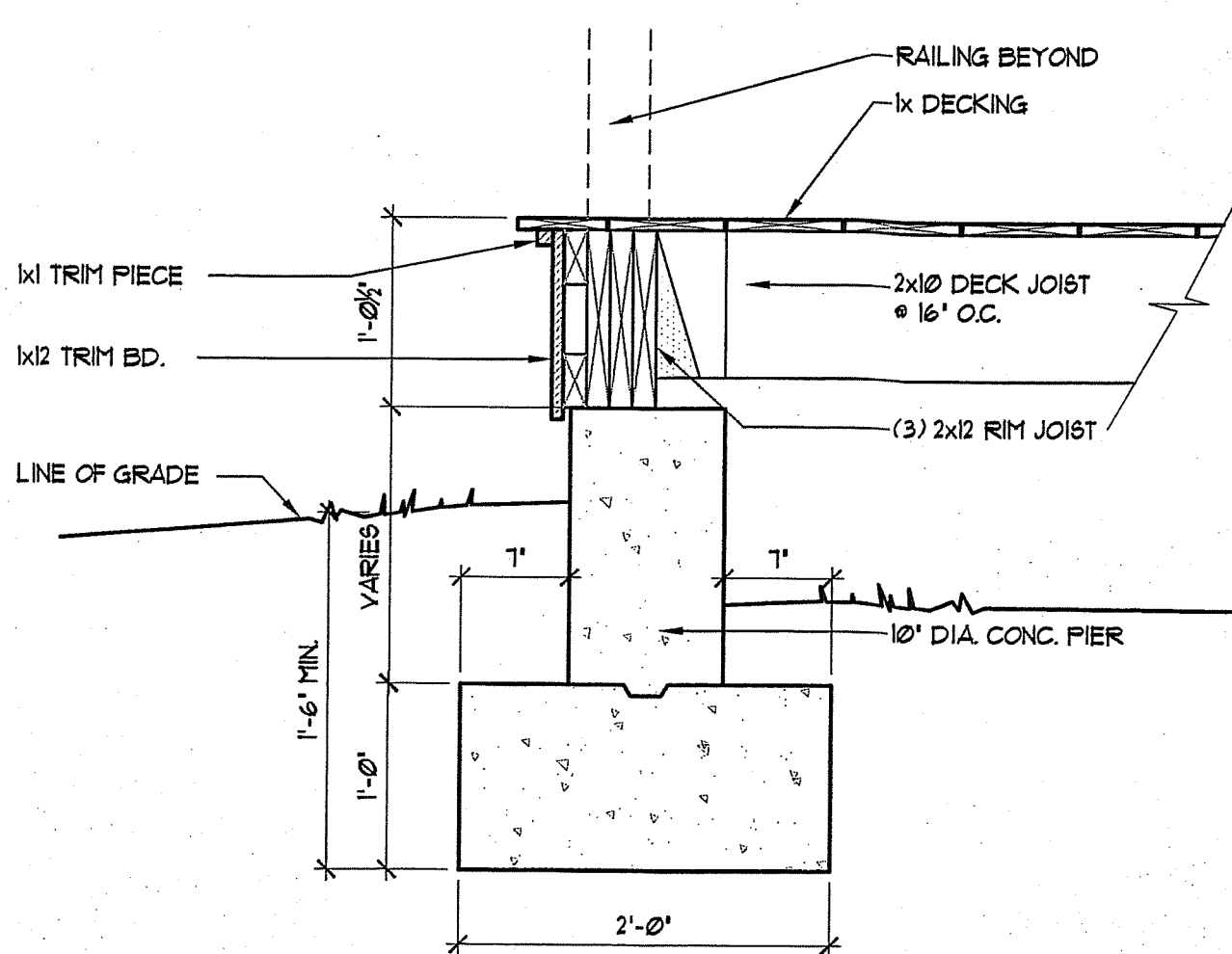
### GENERAL NOTE

- ALL NEW MATERIALS AND FINISHES TO MATCH THAT OF EXISTING HOME



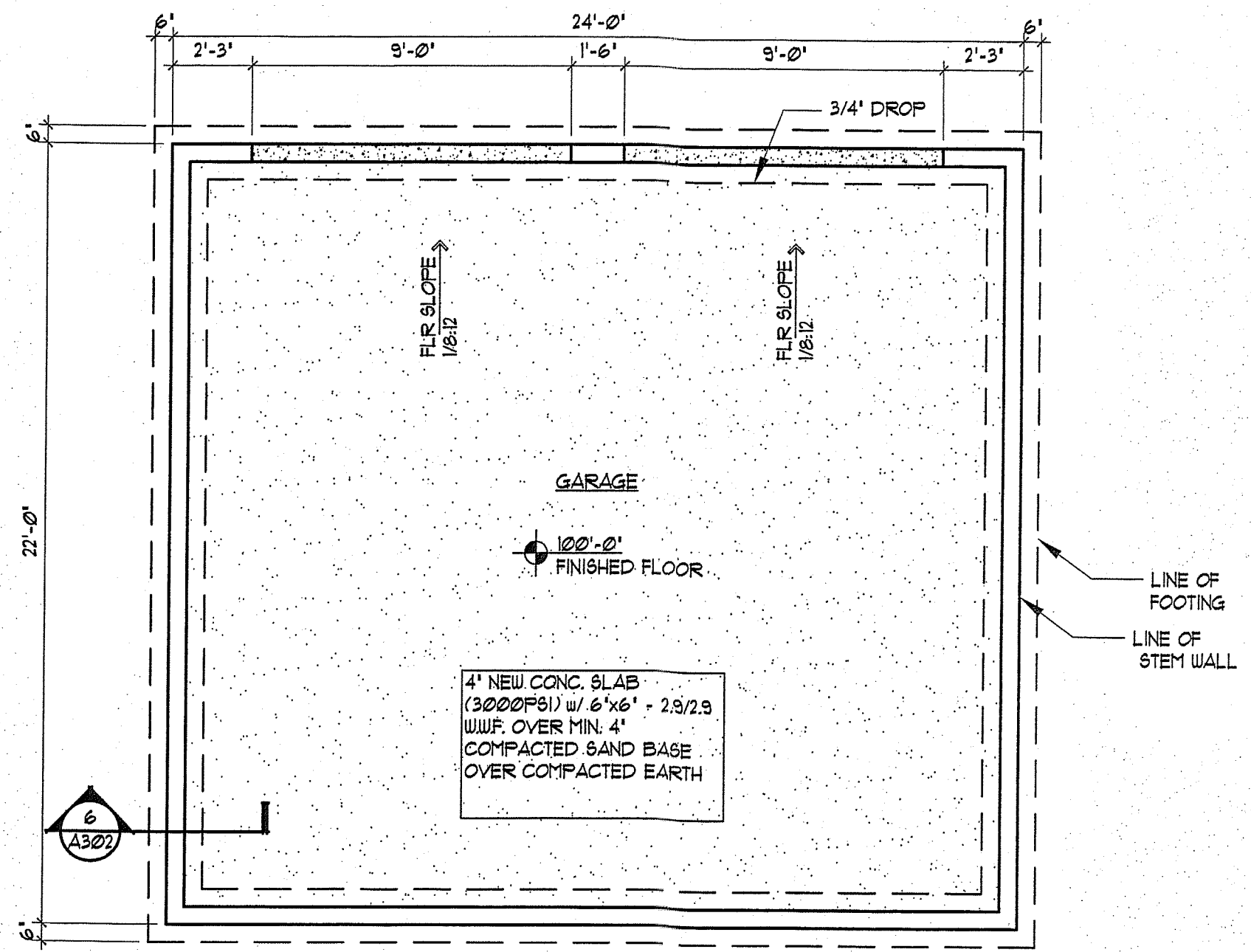
7 DECK DETAIL

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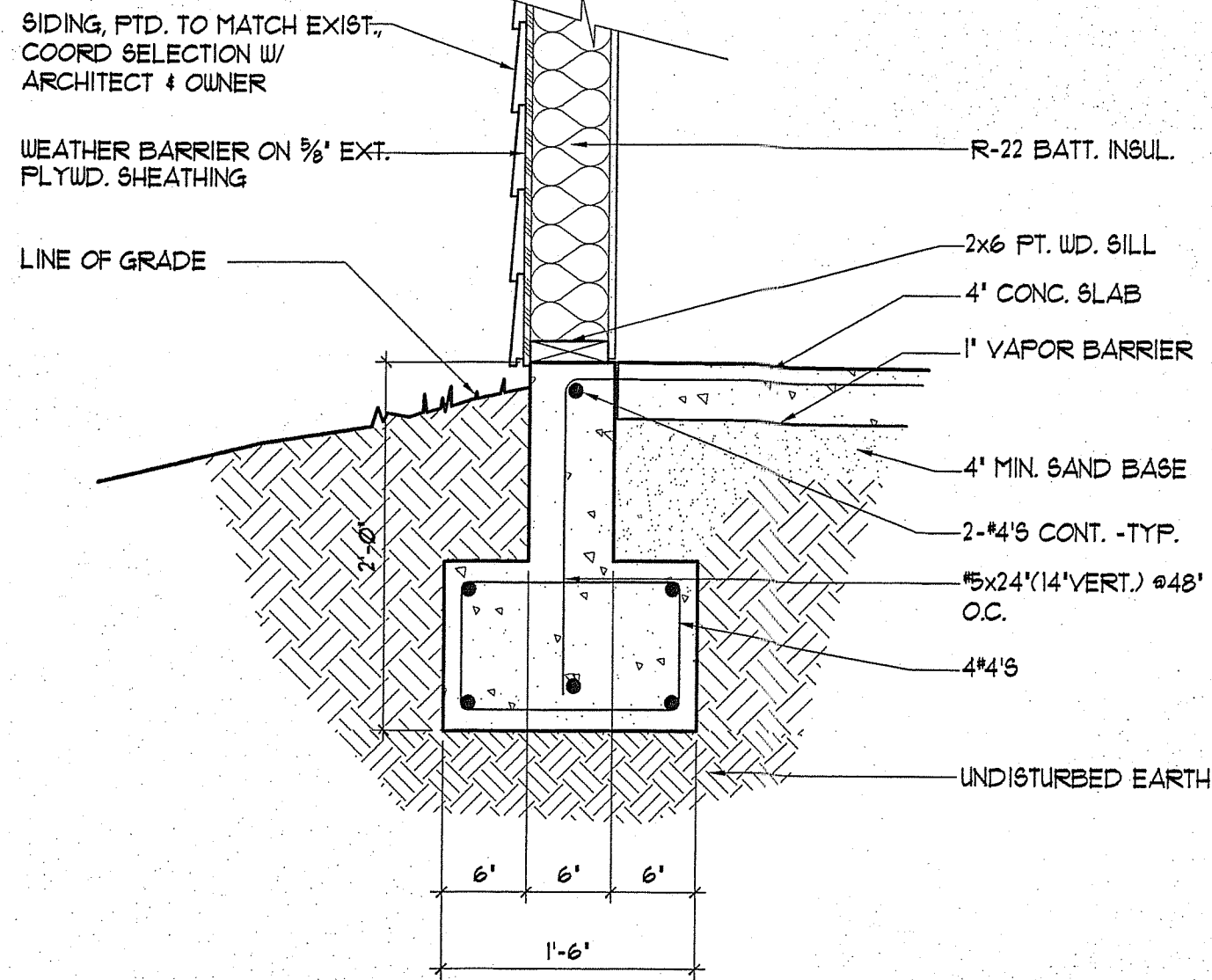
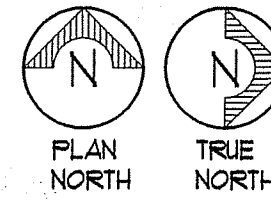
8 FOUNDATION DETAIL

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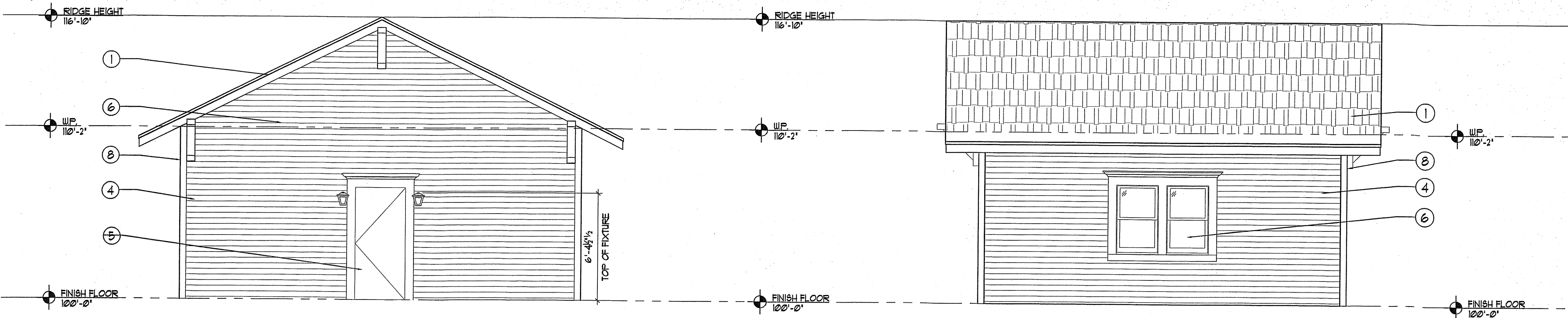
5 FOUNDATION PLAN

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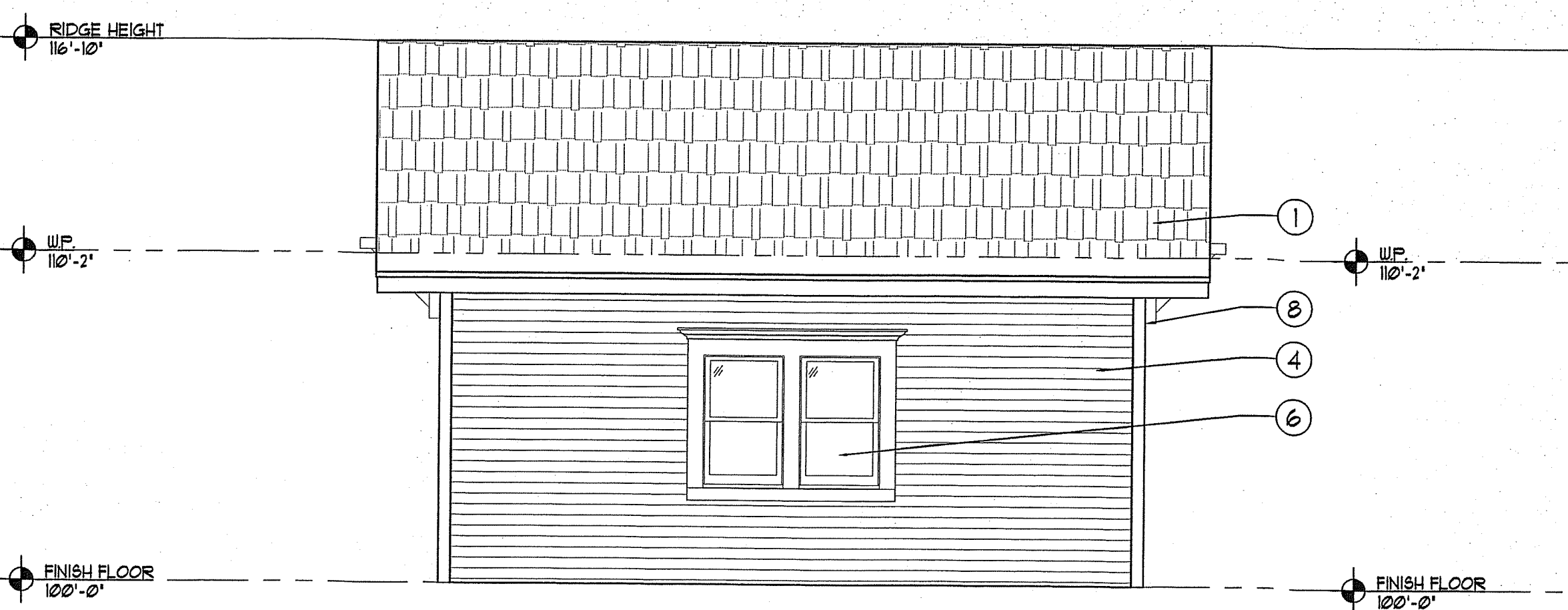
6 DECK DETAIL

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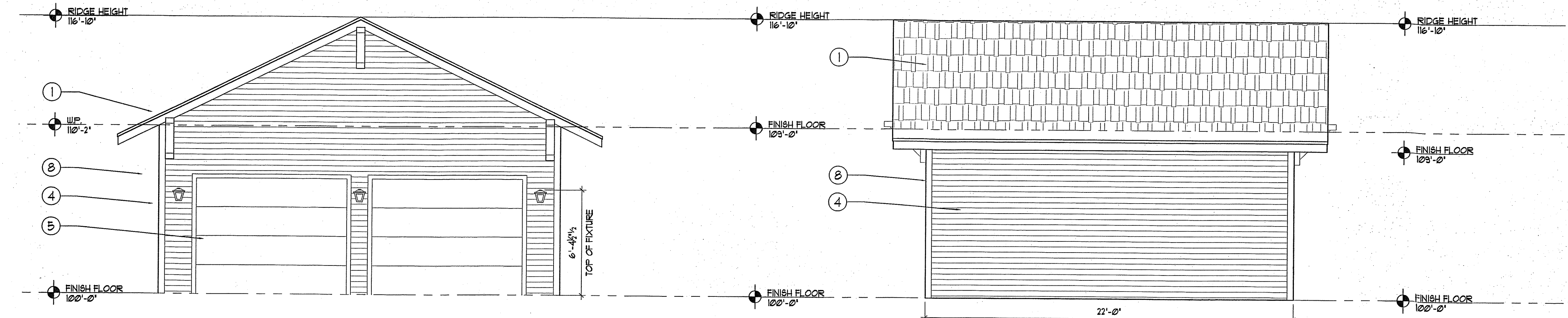
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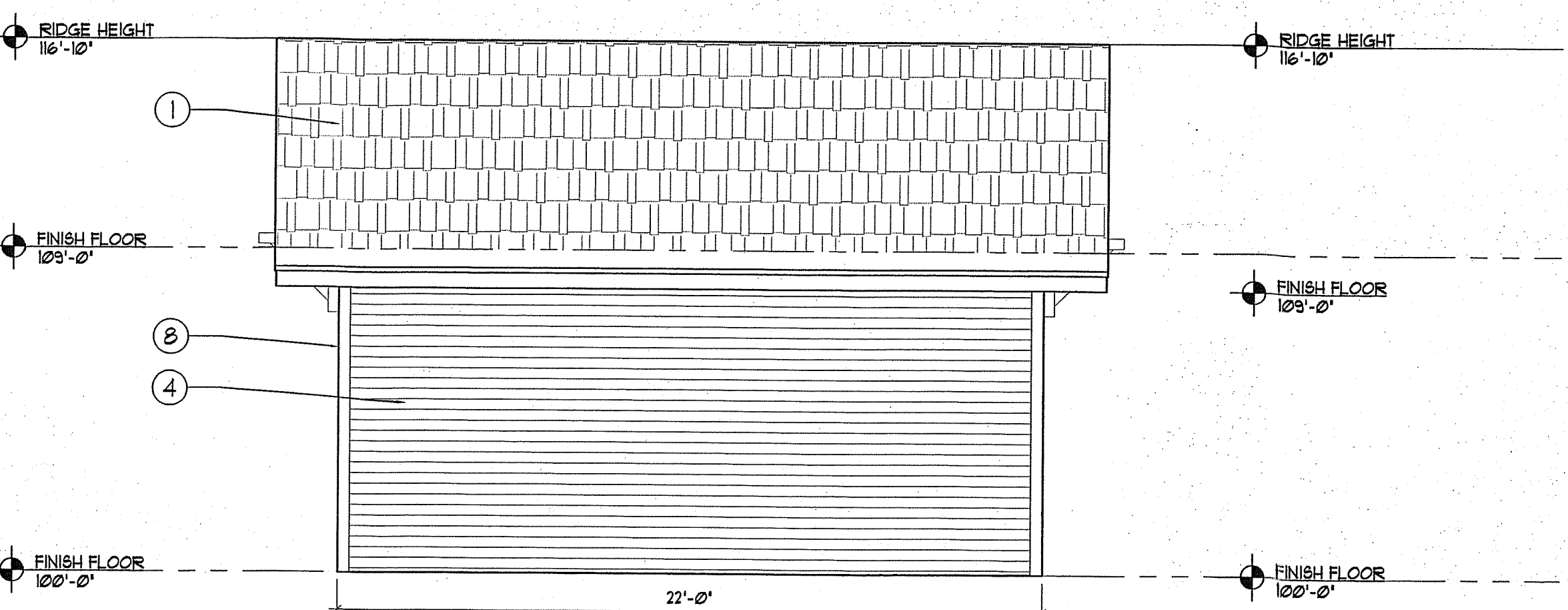
2 NORTH ELEVATION

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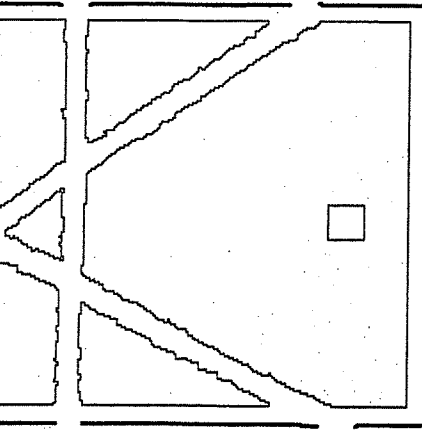
3 WEST ELEVATION

SCALE: 1/4"=1'-0"



4 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



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EXTERIOR ELEVATIONS & FOUNDATION

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